



4.4 PECK CENTER FLOOR PLAN ALTERNATES

With the removal of the Senior Center program from the Peck Center, there is an opportunity to expand the remaining programs. Three options are provided on the following pages and compared in a table at the end of this section. In each option, the first floor is left untouched as it has been recently renovated. Additionally, the ground level mechanical, electrical, sprinkler, custodial, and community storage spaces are not considered. The second floor Auditorium and Gallery spaces have been minimally affected as these are unique community resources. Options 1 and 3 show the addition of walls and doors between the Auditorium and Gallery in an effort to allow these spaces to be used simultaneously for separate events. Option 2 includes the Recreation Department if this were not able to be included in a New Community Center, but it is omitted in Options 1 and 3. A Café/Friends of the Library Store is added in options 1 and 3. However, this could also be a meeting room if the new Community Center is limited in meeting space.

Option 1

Ground Floor: The Preservation Society expands into the area previously occupied by the Senior Center Kitchen and the TAP-IN Pantry. The second floor Library Administrative offices and ground floor IT/Community Resources move into the remaining Senior Center spaces. Book Sorting moves into the remaining area previously occupied by Library IT and Community Services. TAP-IN expands into the Rec. Office and Library Book Sorting and an accessible ramp is provide to allow universal access to the pantry level.

Second Floor: The Children's Library expands into the adjacent Meeting Room and Staff Lounge with a new dividable program space. The existing program space remains or become stacks. The computer room is expanded. The corridor into this area is transformed into a multi-sensory experience reflecting the activities and goals of the Children's Library. The existing administrative spaces become a large book discussion room/public meeting room and a Café/Friends of the Library Book Sales area. The Board of Trustees room remains unchanged.

Option 2

Ground Floor: TAP-IN moves into the space occupied by the Senior Center. IT/Community Services moves into the TAP-IN Office and the Recreation Office. Book Sorting moves into the TAP-IN Pantry. The Recreation Office and storage moves to Book Sorting and TAP-IN storage. Book Sorting moves to the Pantry. The Preservation Society expands across the hall to the IT/Community Services room.

Second Floor: The Children's Library expands into the adjacent Meeting Room. The corridor into this area is transformed into a multi-sensory experience reflecting the activities and goals of the children's library. The Staff Lounge, Administrative Offices, and Board of Trustees remain unchanged. The Green Rooms off of the stage become a Public Meeting Room.

Option 3

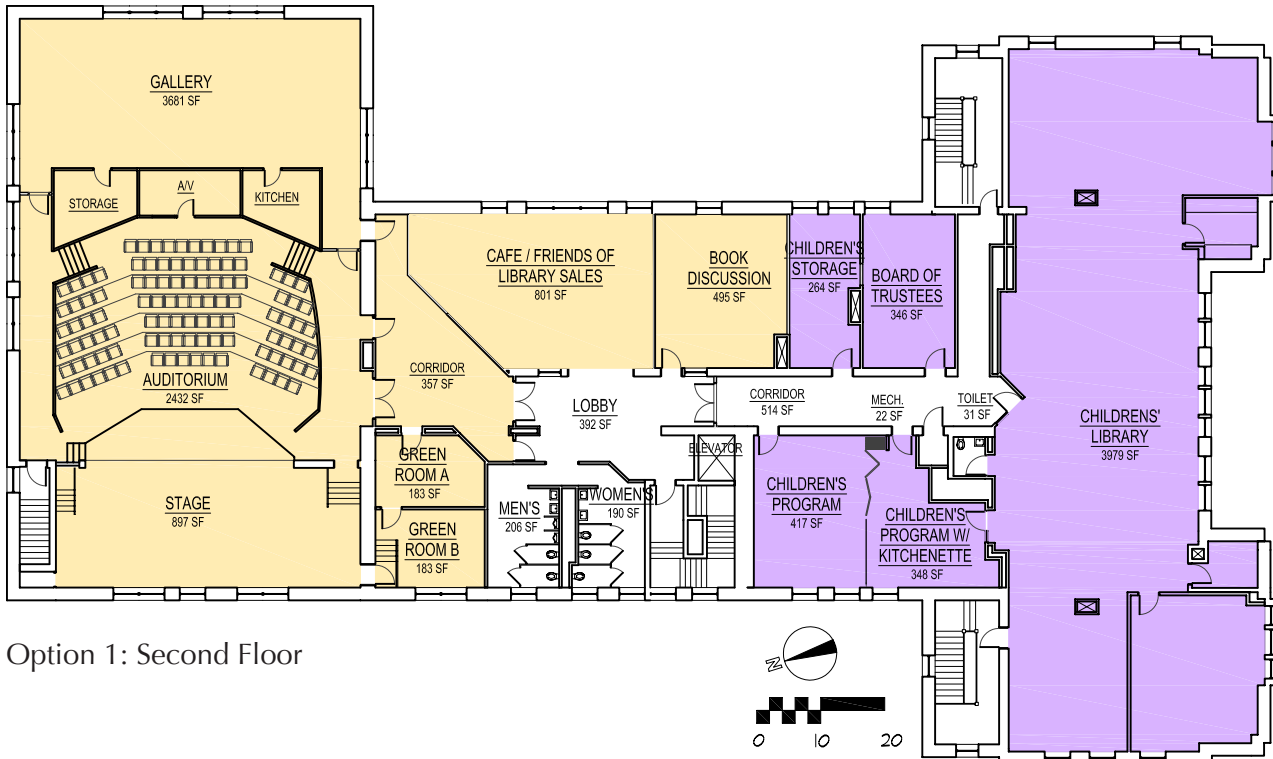
Ground Floor: The Children's Library moves into the Senior Center spaces. The Preservations Society expands into the spaces occupied by the Library IT/Community Services and the TAP-IN pantry (storage). TAP-IN moves into the Book Sorting area and the Rec. Office and an accessible ramp is provide to allow universal access to the pantry level.

Second Floor: The Library Administrative offices, Staff Lounge, IT, and Community Services move into the space occupied by the Children's Library. The Staff Lounge becomes another Meeting Room. Book Sorting and a Café/Friends of the Library Book Sales area occupy the Administrative Office area.

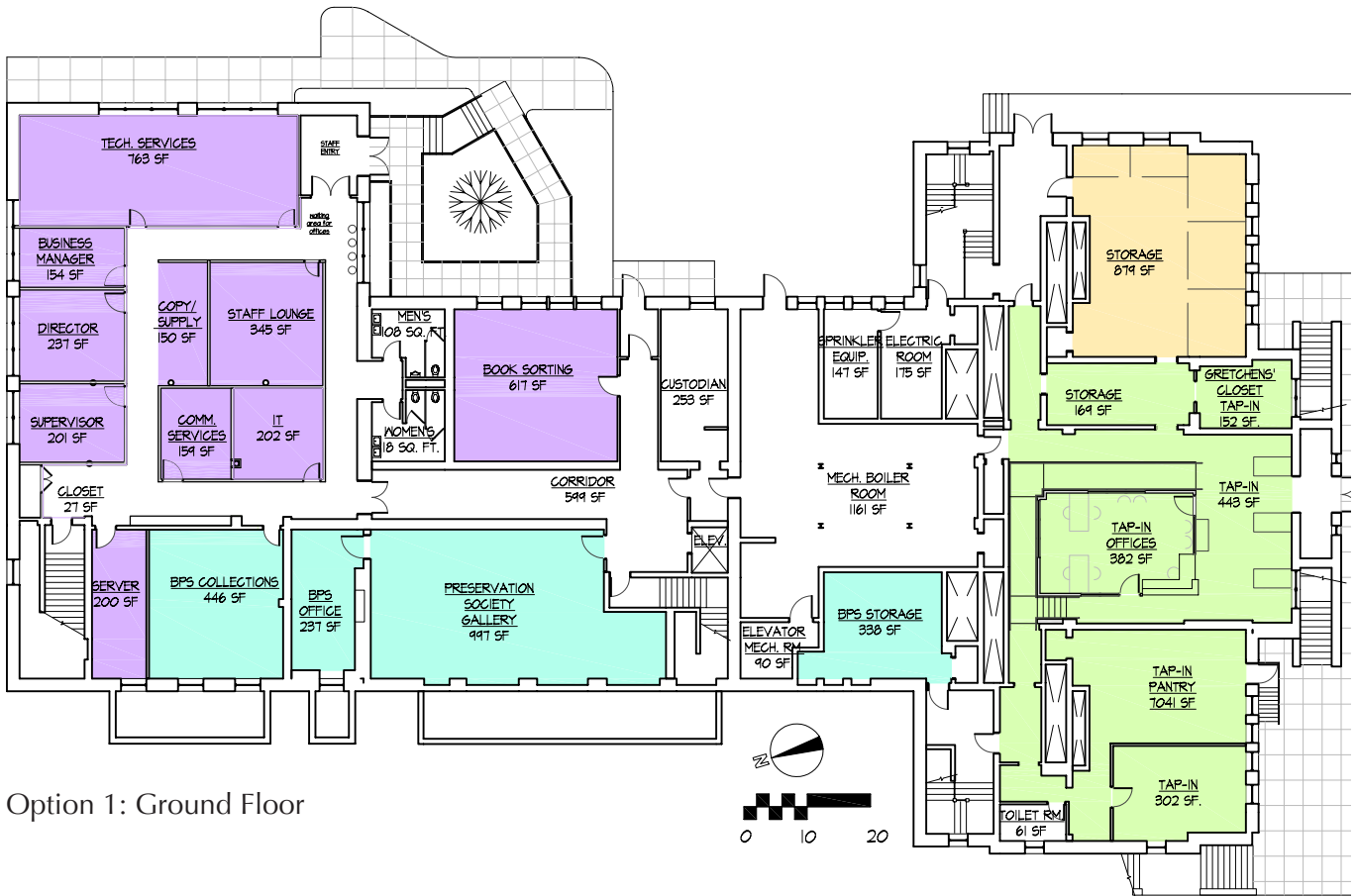


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Option 1: Second Floor

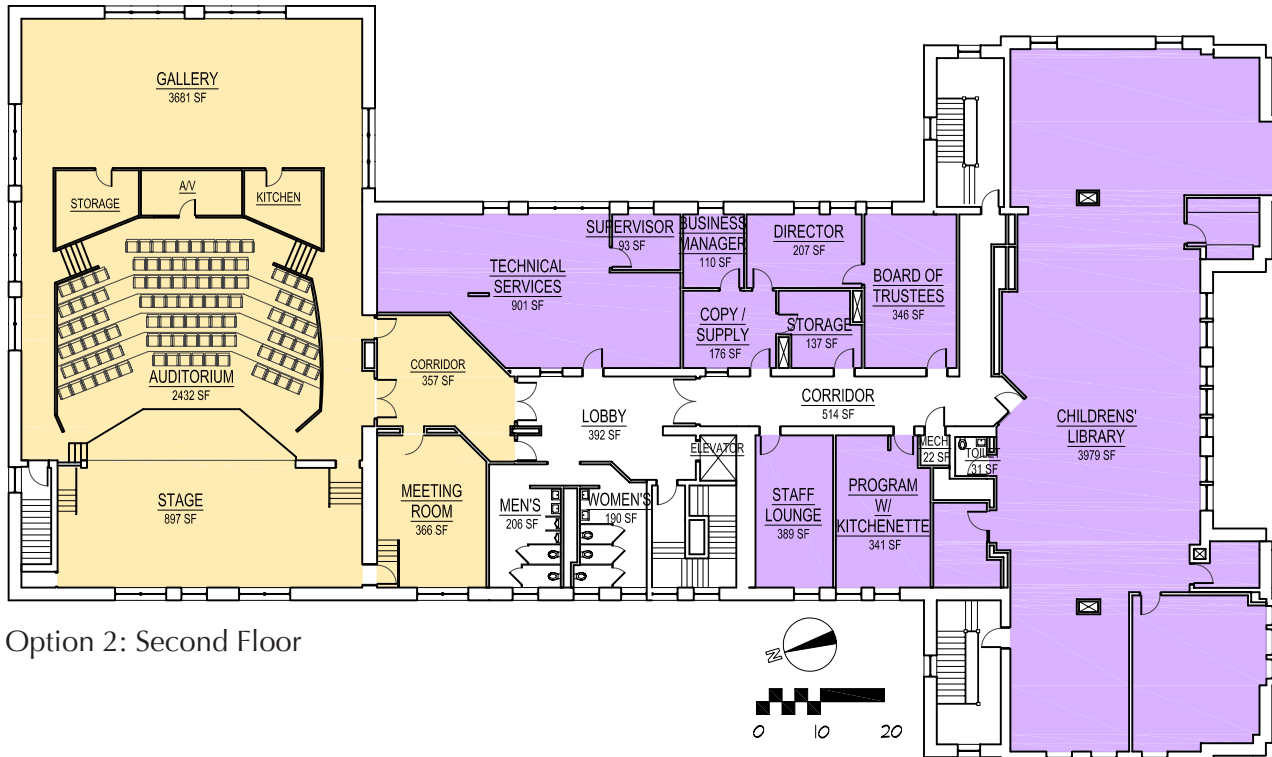


Option 1: Ground Floor

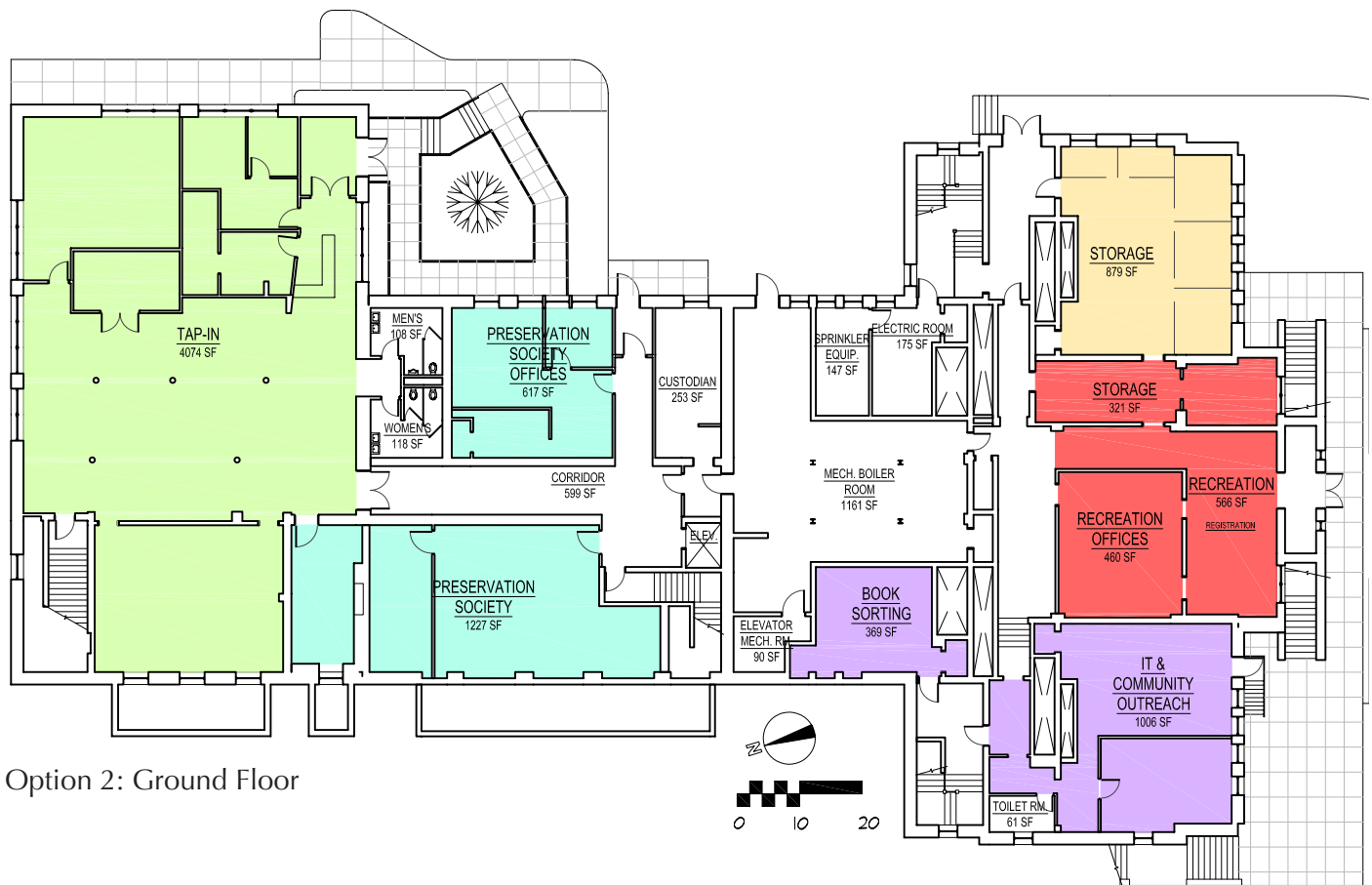


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Option 2: Second Floor

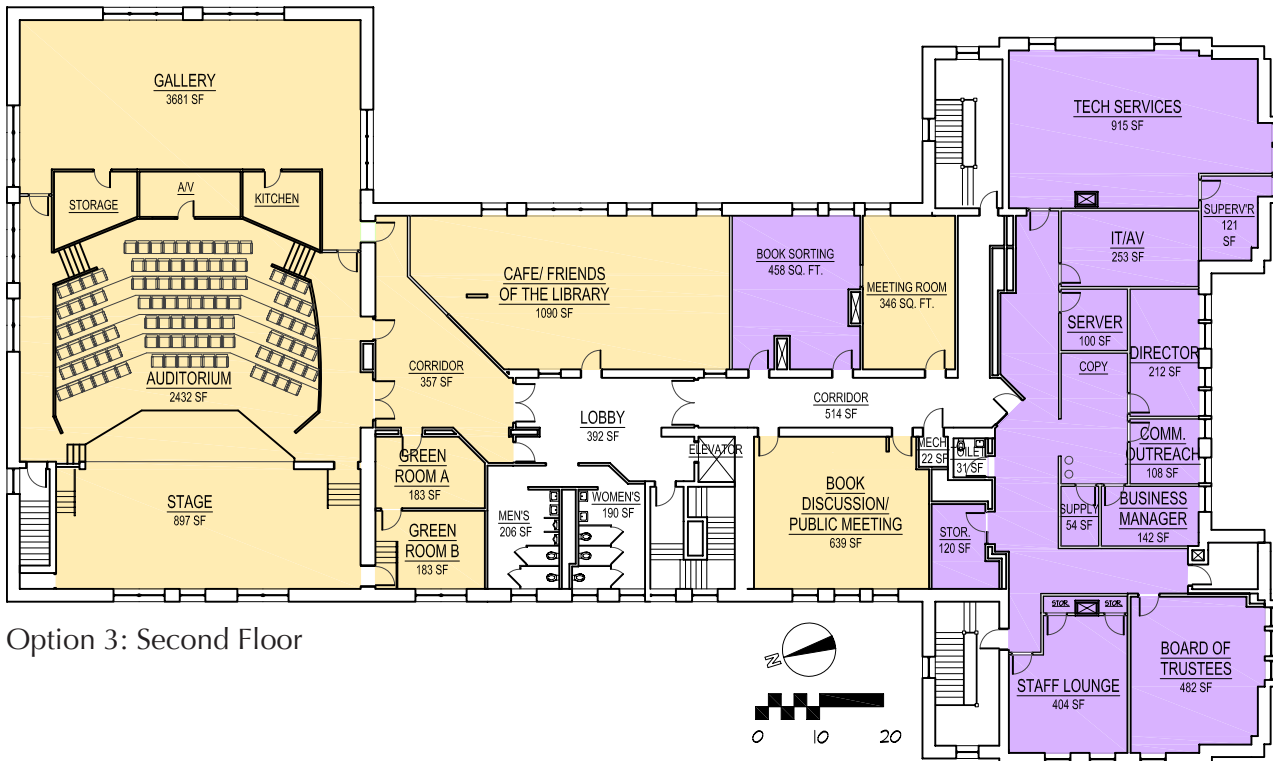


Option 2: Ground Floor

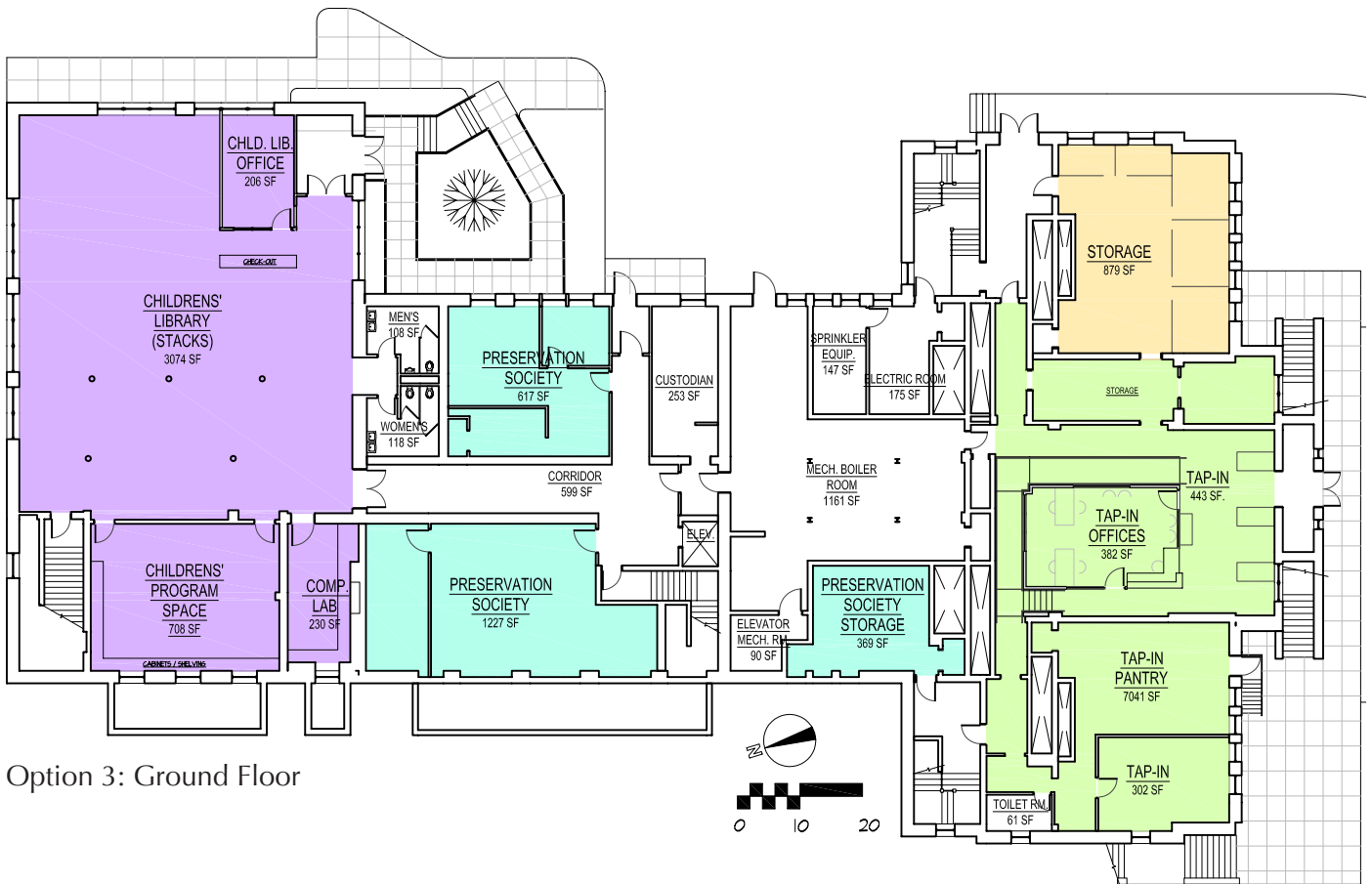


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Option 3: Second Floor



Option 3: Ground Floor



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Table comparing proposed Peck Center space area options to existing

Space	Existing	Opt. 1	Opt. 2	Opt. 3
<i>Library</i>				
Entire First Floor	~13,550 sf	NC	NC	NC
Technical Services	901 sf	736 sf	NC	915 sf
Supervisor	93 sf	201 sf	NC	121 sf
Business Mngr.	110 sf	154 sf	NC	142 sf
Director	207 sf	237 sf	NC	212 sf
Copy/Supply	176 sf	150 sf	NC	255 sf
Storage	137 sf	27 sf	NC	120 sf
Children's Library	3201 sf	3741 sf	3741 sf	3074 sf
Children's Computer	101 sf	238 sf	238 sf	230 sf
Children's Program	483 sf	765 sf	526 sf	708 sf
Board of Trustees	346 sf	NC	NC	482 sf
Staff Lounge	389 sf	345 sf	341 sf	404 sf
IT/Server	507 sf	402 sf	704 sf	353 sf
Community Services	103 sf	159 sf	302 sf	108 sf
Book Sorting	460 sf	617 sf	369 sf	459 sf
Café/FOL Store	0 sf	695 sf	0 sf	1090 sf
<i>Community Spaces</i>				
Gallery, Storage, Kitchen	3681 sf	NC	NC	NC
Auditorium & AV	2432 sf	NC	NC	NC
Stage	897 sf	NC	NC	NC
Meeting Room	389 sf	336 sf	366 sf	346 sf
Green Room A	183 sf	NC	0 sf	NC
Green Room B	183 sf	NC	0 sf	NC
Book Discussion	0 sf	495 sf	0 sf	639 sf
<i>BPS</i>				
Gallery	750 sf	997 sf	997 sf	1227 sf
Collections	237 sf	446 sf	617 sf	417 sf
Office	230 sf	237 sf	237 sf	200 sf
Additional Storage	0 sf	338 sf	NC	338 sf
<i>TAP-IN</i>				
Office	704 sf	382 sf	855 sf	382 sf
Pantry	339 sf	704 sf	660 sf	704 sf
Clothes	office	302 sf	1300 sf	302 sf
Housewares/Gretchen's CL	321 sf	NC	NC	NC



SECTION 5.0 - BAY SPRING COMMUNITY CENTER

5.1 OVERVIEW

The Bay Springs Community Center, located at 170 Narragansett Avenue on the west side of Barrington, is a two-story wood framed structure originally constructed as a fire station (ca. 1912). The lot also hosts a neighborhood playground east of the building. The first floor of the Community Center has a large open area (formerly apparatus bay) that is ~18 inches lower than the rest of the first floor. The apparatus bay has a cement floor, exposed painted metal columns, plastered walls, and a high ceiling with exposed painted heavy timber beams. The remaining first floor consists of a computer room, small office spaces, a kitchen and two single bathrooms and has a resilient tile floor, wood paneled and tiled walls, and a dropped acoustic tile ceiling.

The second floor consists of a large open room with a hardwood floor, wood paneled walls that have recently been painted with fire rated intumescent paint, and a vaulted ceiling with exposed framing. A 338 sf raised stage (see EX1-2) is located at the south end of the room and is flanked on either side by two stairways that provide egress from the second floor to a central exit on the first floor. An additional exterior enclosed stairway located on the north end of the building provides direct access from the second floor to the outside. There is visible evidence of water damage in the ceiling and exterior walls.

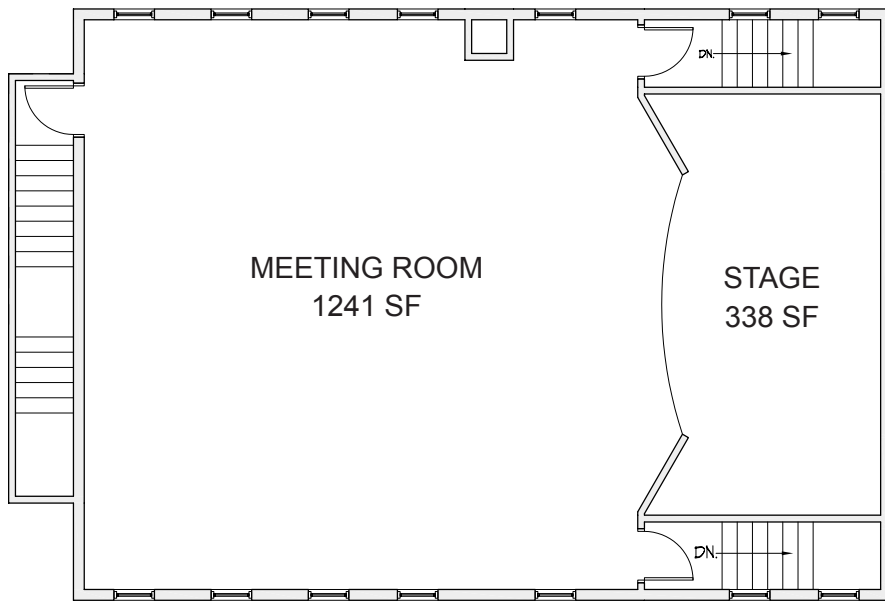
The basement contains mechanical equipment and an electrical panel and is accessed from two independent stairways that exit directly outside at the first floor level. A small wood-framed cupola crowns the building and a brick chimney penetrates the roof centered on the east exterior wall. The building is served by a non-compliant municipal fire alarm systems and is equipped with exit signage, pull stations, and strobes.

The Bay Spring Community Center Board has a desire to make their facility a viable resource for the community. Presently, the Center is not available for public use beyond hosting Crime Watch Meetings and Board Meetings due to required life safety and accessibility code upgrades. The Board envisions making these required upgrades and being able to accommodate a range of activities from scout meetings to small-scale farmer's markets. In the long-term, the Board would also like to pursue sustainable improvements and become a demonstration platform for green technology. The following assessment and recommendations a focused to identify the necessary upgrades required to make the building safe and operable. The Town and the BSCC are presently pursuing these upgrades.

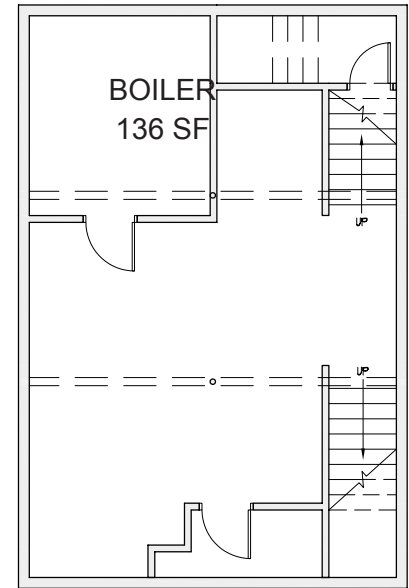




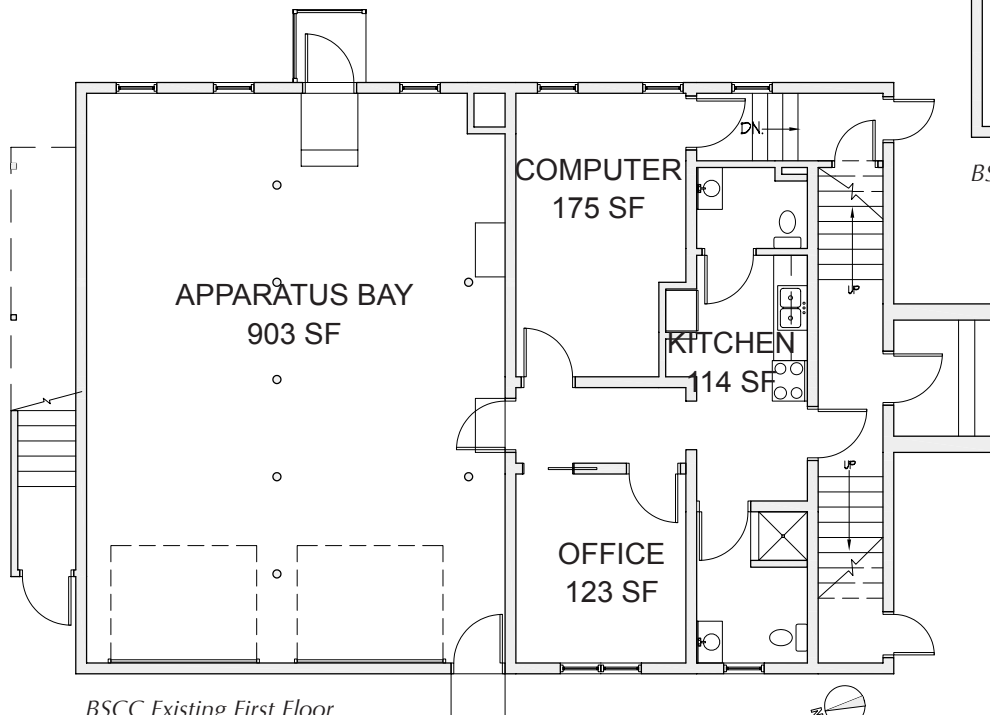
Barrington Community Facility Study - Bay Spring Community Center
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BSCC Existing Second Floor



BSCC Existing Basement



BSCC Existing First Floor



5.2 EXISTING CONDITIONS SUMMARY

Based on its current and proposed use, the Bay Spring Community Centers contains occupancy in use group A-3 per IBC 2006 303.1 and Assembly per NFPA 101 A.6.1.2.1 with incidental office space allowed per A.6.1.1.4.1.2.

The existing building appears to be classified as Construction Type VAV (111), and consists of wood frame with steel columns, concrete foundation wall, heavy timber floor and roof framing, and an asphalt shingle roof with a wood framed cupola. IBC 2006 Table 503 allows for 2 stories (50') and 11,500 sf area for Type VA construction. As this building is not sprinklered and is two-stories, all structural and bearing elements including walls, floor and roof construction need to have a 1 hour fire rating. The load bearing walls on the second floor have been treated with intumescent paint. The existing plastered walls on the first floor also meet the required rating however the paneled walls in the office and computer rooms are unknown. The proposed renovated first floor office area load bearing walls, corridors and ceiling will need to 1 hour rated.

Egress and Accessibility:

According to SRC-1 602.1.2 Number of means of egress: Every story utilized for human occupancy on which there is a rehabilitation work area shall be provided with the minimum number of means of egress required by NFPA 101, Life Safety Code, for existing occupancies. The existing building egress meets this requirement, however neither the first nor second floors are universally accessible.

Exterior Envelope/Structure:

Presently, the exterior of the Center is being re-painted which will help extend the life of the building. Additional items related to health and safety of the building that should be assessed further include the bowing of the exterior walls, the condition of the roof and cupola, the state of the chimney, and the potential need for foundation re-pointing.

Plumbing Fixtures:

Based on Table 2902.1 of the IBC 2006 for A-3 Occupancy, 1 water closet is required per 125 males and 1 per 65 females; 1 lavatory is required per 200 males and females; 1 drinking fountain is required per 500 users; and 1 service sink is required. Based on an occupancy load of 289, the maximum building occupancy amounts to 145 males and 145 females, which requires 2 male water closets (50% urinals allowed), 3 female water closets, 2 lavatories, 1 drinking fountain, and 1 service sink. Per IBC 2006 2909.2, separate facilities are required and per IBC 2006 1109.2, the toilet rooms shall be accessible. Additionally, according to SRC-1 405.0 Water Conservation: When any water closet, urinal, lavatory faucet, kitchen faucet or shower head is replaced, the replacement fixture shall comply with the water conservation requirements specified in Table 604.4 of the International Plumbing Code, 2000. Further improvements include (See Appendix 2, Existing Conditions Summary):

- Removal of exiting first floor drains in apparatus bay
- Upgrade of ¾" water line & meter if required with new fixture quantity
- Removal and replacement of oil fired water heater with consideration to changing to gas,
- Installation of RPZ type backflow preventer at water service entrance & makeup water connection at heating plant.



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Additional upgrades that should be implemented include:

- Removal and replacement of existing Boiler. Installation of new boiler with proper combustion air source.
- Provide chemical treatment of new system to reduce corrosion.
- Removal and replacement of all piping to allow for proper zoning.
- Removal of existing radiators.
- Provide new energy conserving control system.

Fire Alarm/Electrical Upgrades:

The electrical system needs to be upgraded to meet code requirements per NFPA 70 and the Fire Alarm system is a non-compliant municipal system that needs to be made compliant with a Class A panel (See Appendix 2, Existing Conditions Summary). The elevator will require 3-Phase power, which could be installed during the Phase II work. Required electrical and fire alarm upgrades include:

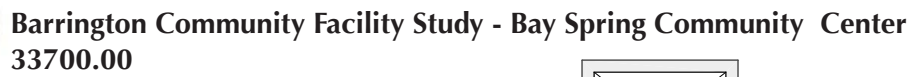
- Replace existing panels in their entirety.
- Replace existing fire alarm system with an addressable type.
- Provide heat and smoke detectors above suspended ceilings as required by RIUFC and on exposed beams per NFPA 72.
- Replace existing horns and strobes with ADA compliant devices. Provide strobes in new toilet rooms.
- Replace existing single action pull stations with dual action pull stations.
- Provide a knox box on the outside of the building at the entrance closest to the FACP.
- Replace lighting in entirety with energy efficient type. Add (2) fluorescent type fixtures to the stairwells.
- Replace Emergency Lighting System in its entirety. Provide emergency battery units with integral light heads, outdoor dual head remote emergency light heads at each egress, and exit signs with battery backup.
- Replace NM type cabling above suspended ceilings with new MC type cabling.
- Provide grounded type receptacles in the kitchen. Replace switches with new switches and occupancy sensors as required by the Energy Code. Provide a timeclock to control exterior lighting.

Fire Protection Upgrades:

Depending on the final floor plan configuration and space use, an assembly occupancy of over 300 would require the installation of a new automatic fire protection system as required by code to serve each floor (see Appendix 2 - Fire Code Survey). This would also require a new fire water service tap from the main water line. The addition of an automated sprinkler system would reduce the 1-HR rating requirements identified previously. Proposed floor plan renovations result in an occupancy load of just under 300.

Parking:

Currently there is room to park two vehicles in front of the apparatus bays off of Narragansett Avenue, which could be designated as accessible parking. Additional parking (8-9 spaces) could be created on the east side of the playground, which would require relocating or removing a couple of the existing play structures, minor excavation and potentially a small retaining wall. This work is presently being studied further. Also, additional parking is available at the nearby Atria Bay Spring Village.



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NATES

PHASE 2: 2-STOP HYDRAULIC ELEVATOR

202

DN

PHASE 1: PROVIDE CONTINUOUS HANDRAILS UP EXISTING STAIRS

212

MEETING ROOM
1241 SQ. FT.
177 OCC.

STAGE
338 SQ. FT.
22 OCC.

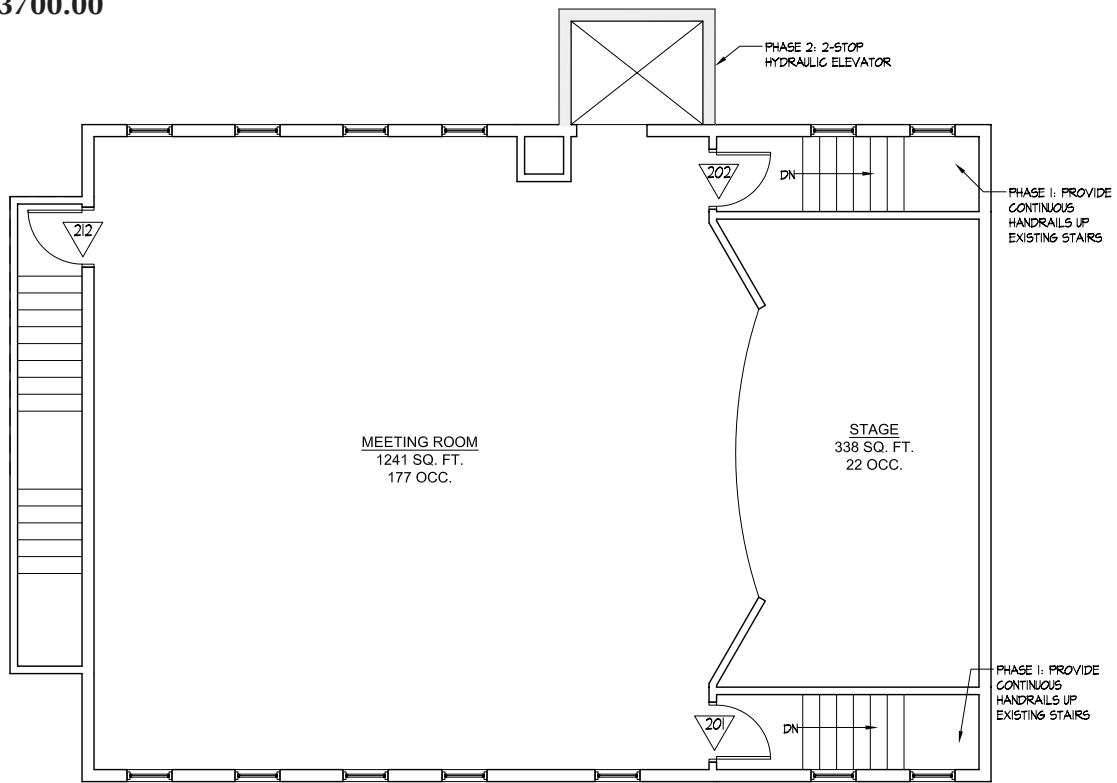
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DN

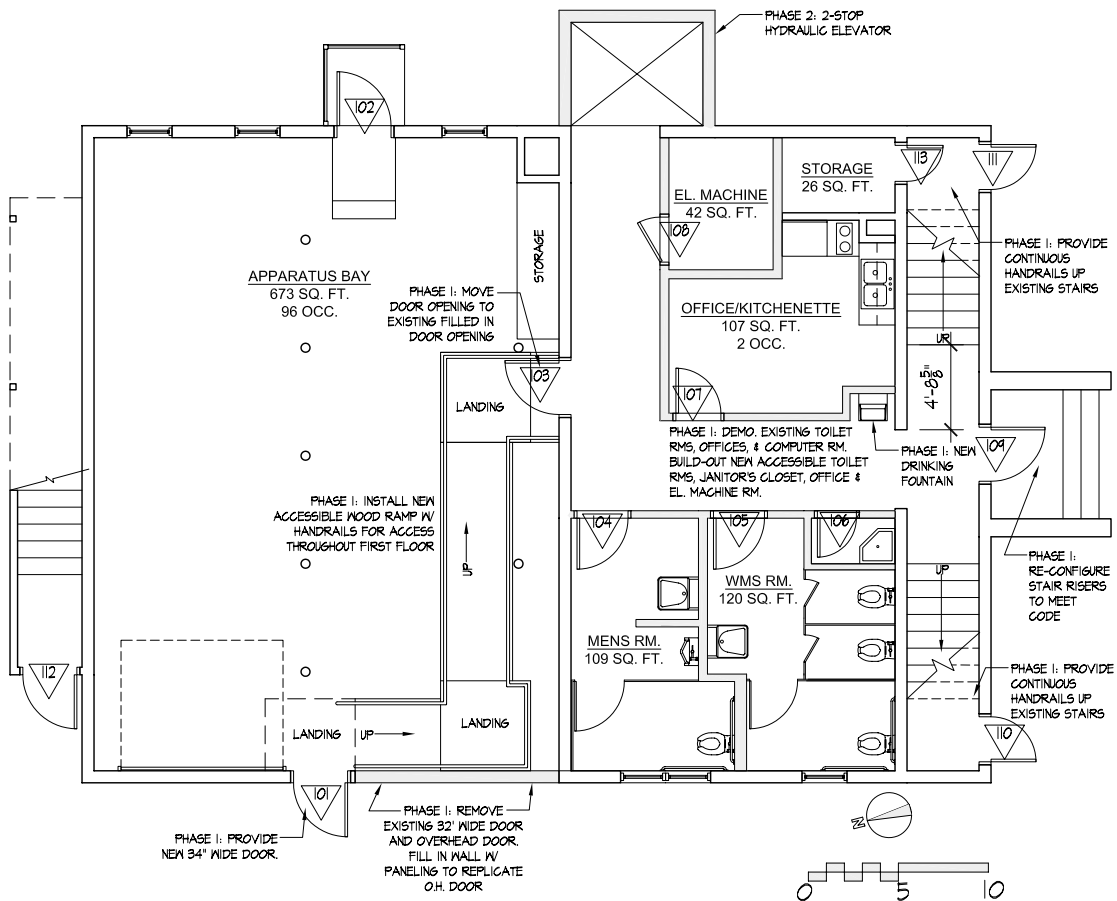
PHASE 1: PROVIDE CONTINUOUS HANDRAILS UP EXISTING STAIRS



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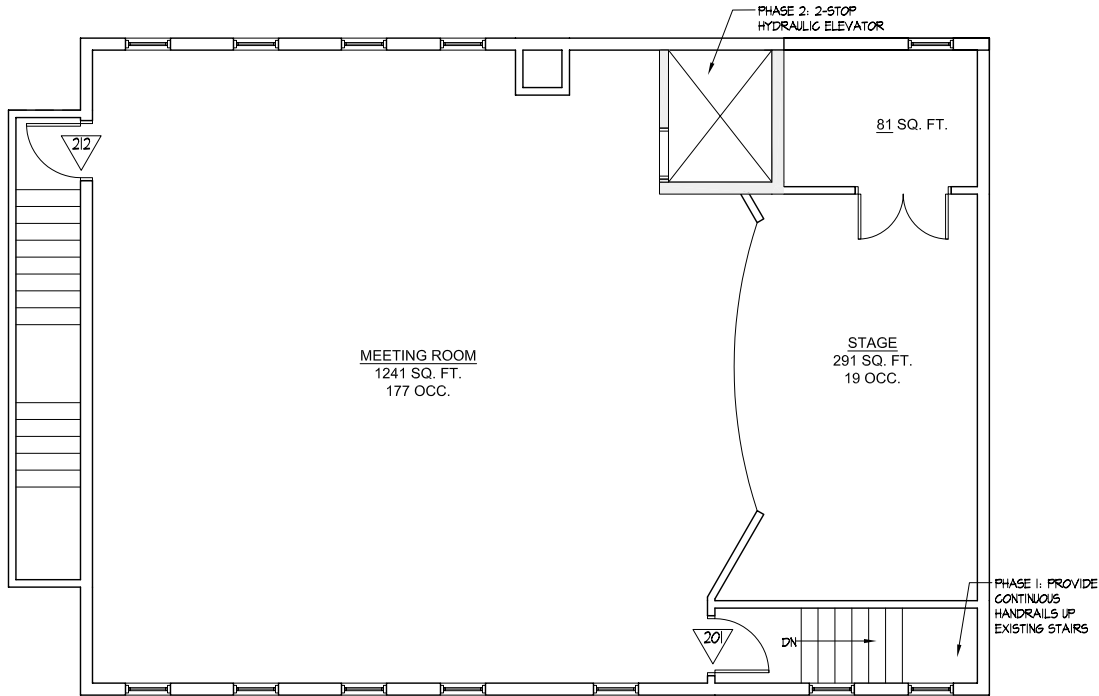
BSCC Option 2 - Second Floor



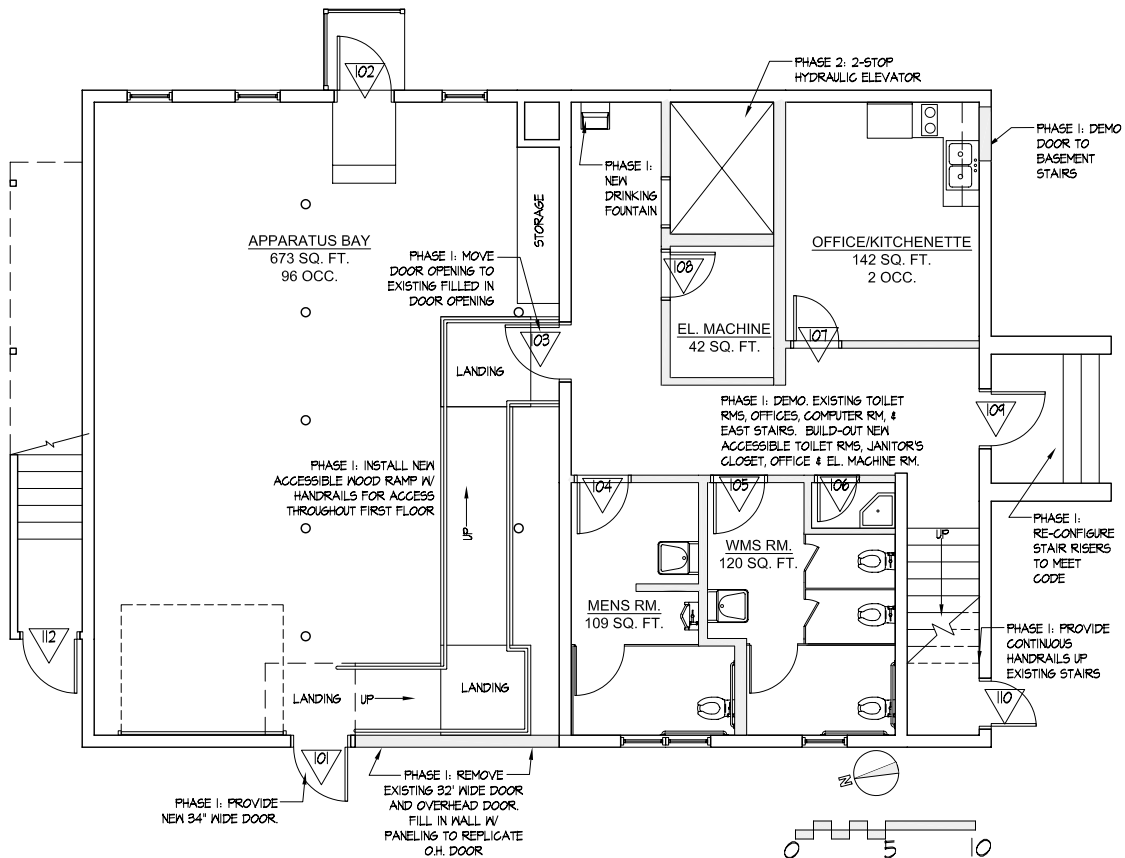
BSCC Option 2 - First Floor



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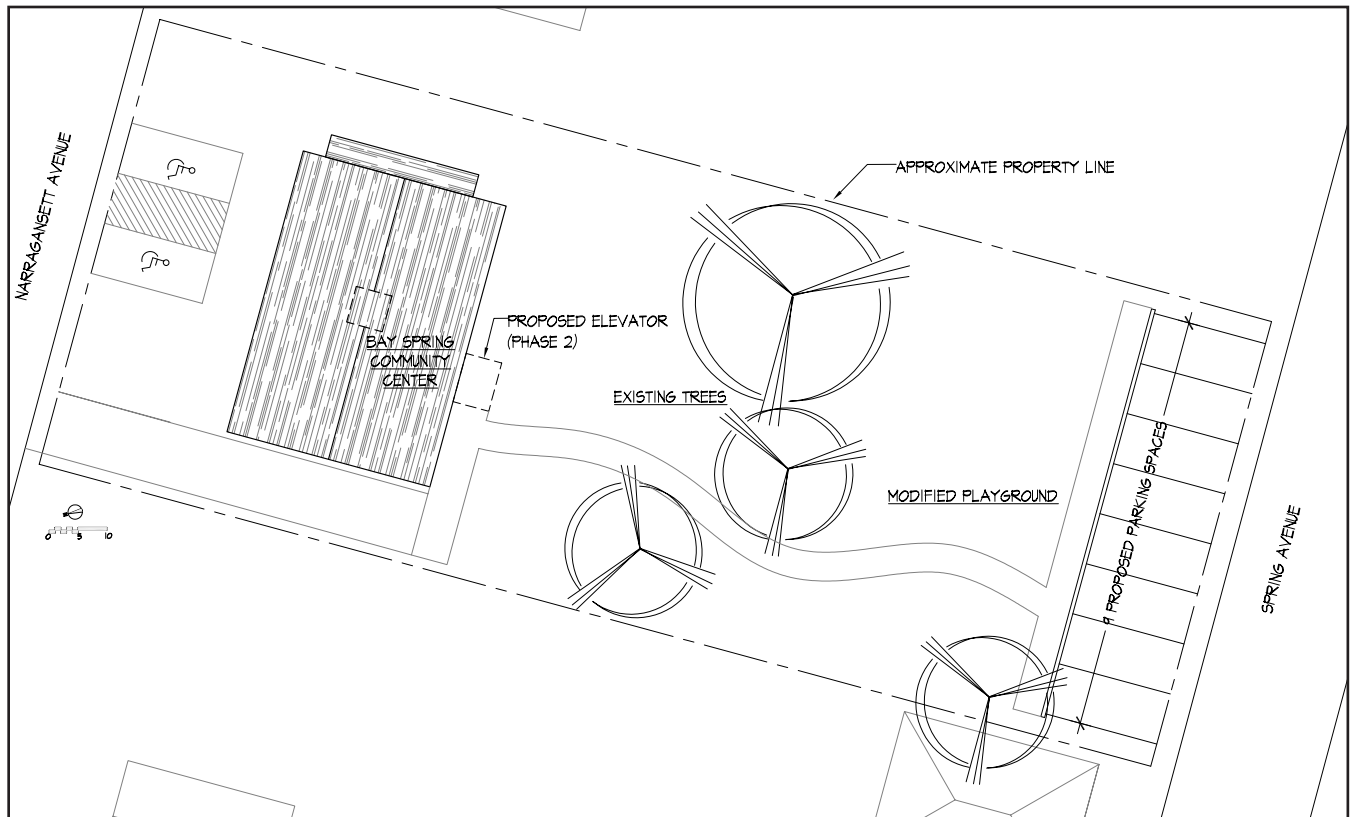
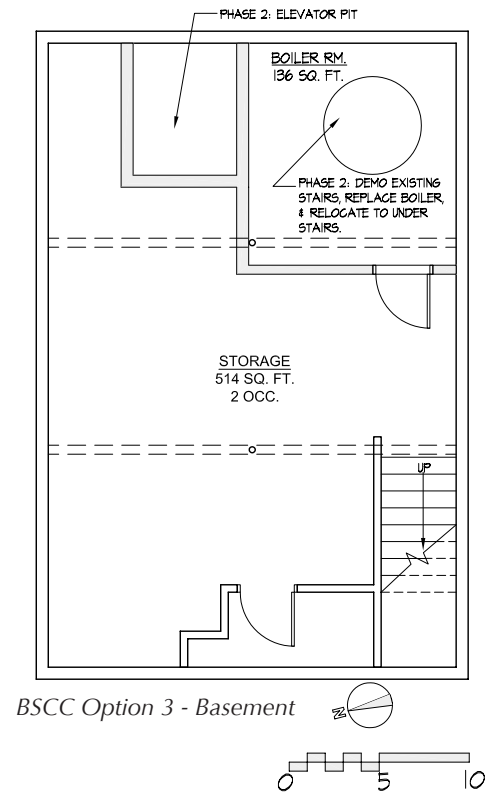
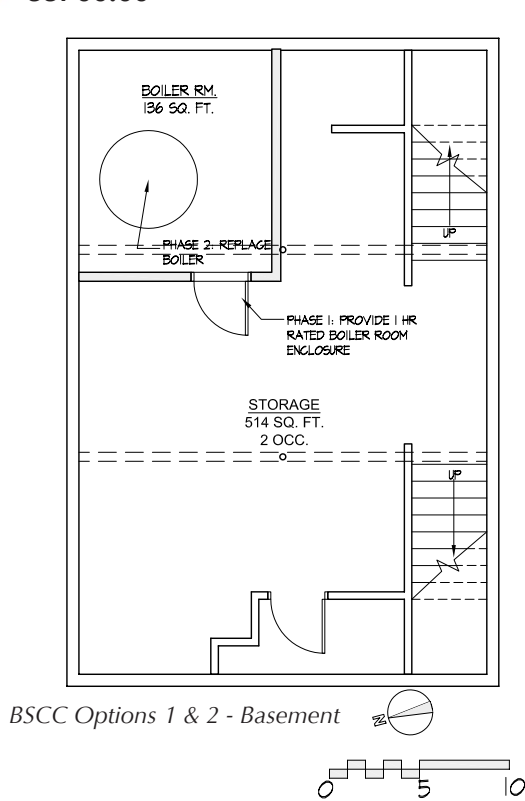
BSCC Option 3 - Second Floor



BSCC Option 3 - First Floor



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5.3 ALTERNATES (Cont.)

Floor Plan Options

Improvements to the BSCC are proposed in two phases. Phase I includes providing the required life safety and plumbing fixture upgrades and providing access throughout the first floor. Phase II includes the addition of an elevator to provide access to the second floor and replacement of the boiler system. Each of the three renovations options propose providing accessible toilet rooms along the west wall on the first floor. Option 1 shows the addition of a ramp and platform (to be used for performance) in the Apparatus Bay to provide universal access through out the first floor. Options 2 and 3 show a smaller more direct ramp in the Apparatus Bay. This allows for more contiguous space lacks the platform element. Options 1 & 2 show the addition of the phase II elevator located on the outside of the building, while Option 3 shows it on the inside which affects the configuration of the basement and removes one of the stairs to the second floor. This elevator configuration would also work with the ramp configuration proposed in Option 1.

Site Improvement Option

As parking is very limited at the site, the Design Team proposes taking a small area away from the playground, relocating disturbed play structures, and adding potentially up to 9 parking spaces. A small retaining wall might be required due to the grade change and an accessible path could link the parking to the Center. Additional parking could be available at the neighboring Atria.

5.4 RECOMMENDATIONS & COSTS

The Bays Spring Community Center is a viable resource for the community. If it becomes operable, the facility would help relieve space demands on the Peck Center and will engage residents in an area removed from the center of Town. The Town should continue to make efforts to achieve the appropriate upgrades to allow the use of the building. The services of a design/build professional should be engaged to begin Phase I work and to further develop a floor plan scheme with the BSCC Board and the Town.

Costs associated with phase I work are estimated at \$119,663 (See Appendix 3 - Cost Estimates). Phase II improvements including the installation of a new elevator and boiler are estimated at \$177,600. Site Improvements will incur additional costs as will the installation of an automatic sprinkler system should it be required.



SECTION 6 - RECOMMENDATIONS/NEXT STEPS

SECTION 6.1 - NARRATIVE

At this time, the Design Team in conjunction with the Steering Committee recommend constructing a new 17,000-18,000 sf Community Center Facility on the Town Land adjacent to the YMCA. While there is some expansion potential at the Peck Center, site restraints, existing building character, and proximal neighbors constrain the potential of new program space. A new facility adjacent to the YMCA would allow for the potential of a public/private partnership, efficiency of space and funding, and collaboration between existing recreation and education focused programs including the Recreation Department, the Community School, and the YMCA. Additionally, a new facility at the YMCA site would more fully engage Veteran's Memorial Park and utilize existing connectivity via the East Bay Bike Path.

The construction of a new Community Center would allow for the removal of the Senior Center program and Recreation Department office from the Peck Center. Option 1 of the Peck Center Floor Plan Alternates (See Section 4) is the preferred option and should be developed further. Additionally, efforts should be made to improve pedestrian access around the Peck Center and the Town Hall campus. Accessible walk-ways should be provided along the east and west sides of the Center as indicated on the Peck Center Site Overview.

If the construction of a new facility is not feasible in the near future, there are a number of items that need to be addressed as soon as possible in order to maintain the quality of services provided at the Peck Center. These items include:

- Repair and renovation of the Children's Library
- Repair and renovation of the second floor bathrooms
- Provision of universally accessible routes throughout the ground floor area occupied by Tap-In
- Update the finishes in the Senior Center
- Provide an operable dehumidification unit for the Barrington Preservation Society
- Improve pedestrian accessibility throughout the site.
- Assess building envelope and repair areas that allow water penetration currently affecting the ground floor
- Change out existing light fixtures to energy saving fixtures.

SECTION 6.2- ASSOCIATED COSTS

A new 17,000 sf Community Center is estimated to include a project cost of ~ \$5,200,000. The maximum program proposed (33,176 sf) would cost approximately \$10,000,000 whereas the minimal program considered (15,984 sf) calculates to \$4,000,000. These costs are based on a factor of \$300/sf and include design and construction costs as well as site works.

In order to get a more accurate cost estimate, further efforts need to be made to achieve a thorough site survey and to define the performance and character of the building. This number would be affected by specific site conditions, sustainable and energy saving goals (which may lead to a higher up-front cost), and economic conditions.

Costs associated with the renovation of the Peck Center (Option 1) are estimated at \$1,013,300 (see Appendix 3 - Cost Estimates). This estimate includes floor plan renovations, HVAC equipment for the BPS, replacement of existing lighting with energy saving fixtures per the recommendation of National Grid, new furnishings for the Children's Library, and site improvements to increase pedestrian accessibility. A project contingency of 12% is included to represent design fees.



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SECTION 6.3 - NEXT STEPS

In order to move forward with the recommendation or any of the alternates proposed in this study the following steps should be pursued:

1. Present to the Town Council to achieve support for further development and exploration
2. Expand the Steering Committee to include Key Stakeholders and others motivated to make it happen
3. Begin discussions with the Bayside Family YMCA to consider the potential of a Public/Private Partnership
4. Consider further collaboration efforts and potential between the Recreation Department and Community School
5. Consider Funding Sources and Fund-raising Opportunities
6. Engage consultants to further assess site and building design relative to available funds and partnership opportunities